

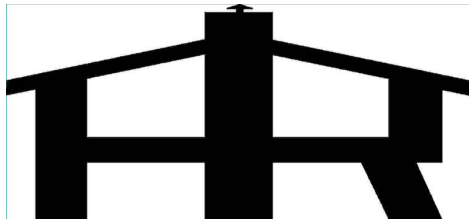
# INSPECTION REPORT



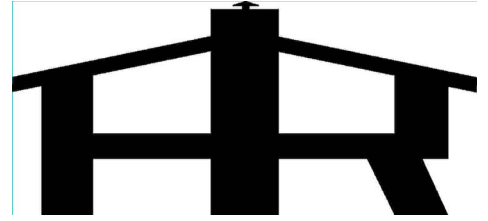
For the Property at:  
**000 ANY STREET**  
ANYTOWN, MB

---

Prepared for: GUARDIAN CLIENT  
Inspection Date: Monday, April 1, 2013  
Prepared by: Roger Chamberland, RHI, CMI



House Review/Guardian Inspection Services Inc.  
432 Speers Rd.  
Winnipeg, MB R2J 1N2  
204-253-4076  
Fax: 204-221-0520  
[www.housereview.ca](http://www.housereview.ca)  
[housereview@shaw.ca](mailto:housereview@shaw.ca)



April 1, 2013

Dear Guardian Client,

RE: Report No. 2041  
000 Any Street  
Anytown, MB

Thank you for choosing Guardian Inspection Services Inc. to perform your building inspection. We trust the experience was both useful and enjoyable.

The inspection determined many issues and concerns with most being minor in nature, low cost to repair. There were however some major issues identified at the inspection. These are as follows:

1. The masonry on the building exterior is in need of repair and repointing. Recommend consulting with a masonry contractor as this is a major repair.
2. The crawlspace is very wet, with some standing water. it is recommended to consult with foundation repair specialist to determine repairs and costs to provide drainage in crawlspace.
3. The grade on the east and north sides of the building require improvements to provide proper drainage away from building. As these areas include the sidewalk and parking area of the building, improvement cost could be considerable. It is recommended to consult with a paving contractor to determine repairs and costs.

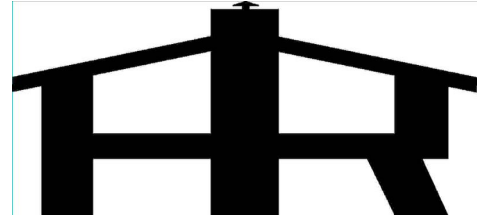
It is recommended to review the entire report for all recommendations.

Do not hesitate to call if you have any questions and thanks again for allowing us to work with you.

Sincerely,

Roger Chamberland, RHI, CMI  
on behalf of  
House Review/Guardian Inspection Services Inc.

House Review/Guardian Inspection  
Services Inc.  
432 Speers Rd.  
Winnipeg, MB R2J 1N2  
204-253-4076  
Fax: 204-221-0520  
[www.housereview.ca](http://www.housereview.ca)  
[housereview@shaw.ca](mailto:housereview@shaw.ca)



# INVOICE

April 1, 2013

Client: Guardian Client

Report No. 2041

For inspection at:

000 Any Street

Anytown, MB

on: Monday, April 1, 2013

Multi-family Pre-purchase Inspection

\$625.00

GST #  
889326526

\$31.25

Total

\$656.25

PAID IN FULL - THANK YOU!

House Review/Guardian Inspection  
Services Inc.  
432 Speers Rd.  
Winnipeg, MB R2J 1N2  
204-253-4076  
Fax: 204-221-0520  
[www.housereview.ca](http://www.housereview.ca)  
[housereview@shaw.ca](mailto:housereview@shaw.ca)

# ROOFING

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## Description

### Flat roofing material:

- Modified bitumen

Newer modified bitumen installation, no issues/concerns observed at time of inspection, maintain as recommended.

## Limitations

**Inspection performed:** • By walking on roof

## Recommendations

### General

- Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of the roof.

# EXTERIOR

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## Description

**Gutter & downspout material:** • Galvanized steel

**Gutter & downspout type:** • Integral/built-in • Scuppers

**Gutter & downspout discharge:** • Above grade

**Lot slope:** • Flat

**Wall surfaces - masonry:** • Brick

**Walkway:** • Concrete

## Limitations

**Upper floors inspected from:** • Ground level

**Exterior inspected from:** • Ground level

## Recommendations

### General

• Replace missing damaged dryer and exhaust fan hoods as required. Recommend using aluminium type with dampers.

**Location:** Various Exterior Wall

**Task:** Replace



• Basement/crawlspace leakage is often caused by conditions on the exterior of the home. Basements/crawlspaces are not built like boats, and if water is allowed to collect outside of foundation walls, it will leak through into the basement/crawlspace. It is important that gutters and downspouts collect roof water and carry it away from the house. Similarly, lot grading around the house should slope away from the building so surface water from rain and melting snow is directed away from the building, rather than towards the foundation.

# EXTERIOR

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

**EXTERIOR**

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

- Ground that slopes toward the house can funnel surface water from rain and melting snow against the foundation walls. This can lead to basement/crawlspace leakage. The ground should slope down away from the building on all side of the house. This includes areas under decks, steps, porches, driveways and sidewalks.

## ROOF DRAINAGE \ Downspouts

**Condition:** • Downspouts end too close to building

**Location:** Rear Exterior

**Task:** Correct



## WALLS \ Brick, stone and concrete

**Condition:** • Masonry deterioration

Some masonry/mortar deterioration observed various areas around building, recommend repair/repointing as required. This is a major cost item, recommend consulting with a masonry contractor for repair costs.

**Location:** Various Exterior Wall

**Task:** Repair



# EXTERIOR

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

**EXTERIOR**

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO



Damaged masonry capping at window sill



More masonry deterioration at sill



More mortar deterioration



Masonry deterioration at window sill



Masonry deterioration



Damaged/missing masonry

# EXTERIOR

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

**EXTERIOR**

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

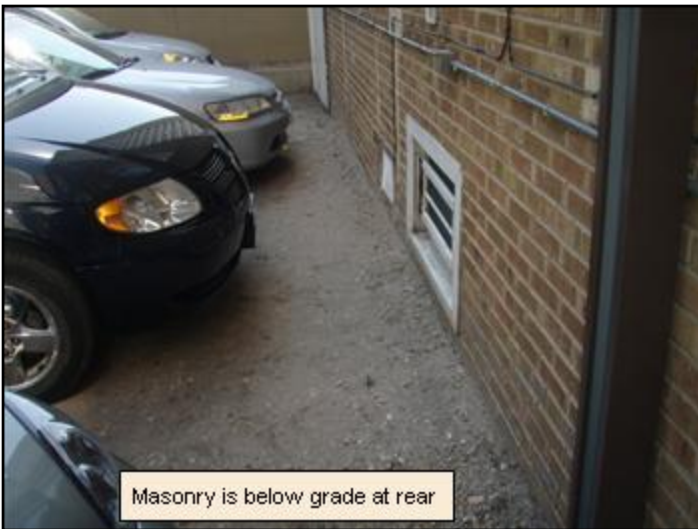
SITE INFO

**Condition:** • Too close to grade

Bricks are below grade at rear and west side. This is not recommended as masonry can deteriorate with moisture and freeze/thaw cycles. It is recommended to monitor brick, lower grade if possible and still maintain proper slope from building. If this is not possible proper flashings should be installed at lower portions of wall, inset into mortar joint to reduce moisture damage to masonry.

**Location:** Rear & West

**Task:** Monitor, repair as/when required.



**Condition:** • Parging damaged or missing

Recommend repairing parging when repairing masonry.

**Location:** Various Exterior

**Task:** Repair

**Time:** Discretionary





# EXTERIOR

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

**EXTERIOR**

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## EXTERIOR GLASS \ General

**Condition:** • Window trim moisture damaged, repair/replace as required. When replacing windows recommend replacing entire frame, vinyl is recommended.

**Location:** Various Exterior

**Task:** Repair or replace



**Condition:** • Caulking missing, loose or deteriorated

Recommend improving caulking around window frames and doors following mortar/masonry repairs.

**Location:** Throughout Exterior

**Task:** Improve



# EXTERIOR

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

**EXTERIOR**

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## EXTERIOR GLASS \ Glass (glazing)

**Condition:** • Broken

**Location:** Rear First Floor #6,

**Task:** Replace

## LANDSCAPING \ Driveway

**Condition:** • Improper slope or drainage

Walkway should slope away from building to reduce moisture at foundation.

**Location:** East Exterior

**Task:** Repair



ROOFING

EXTERIOR

**STRUCTURE**

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## Description

**Configuration:** • Basement • Crawl space

**Foundation material:** • Poured concrete • Brick

**Floor construction:** • Joists

**Exterior wall construction:** • Masonry

**Roof and ceiling framing:** • Rafters/roof joists • No performance defects were noted

## Limitations

**Attic/roof space:** • No access

**Crawl space:**

• Inspected from access hatch

Crawlspace inspected from access hatch under east side stair. Crawlspace accessed from opening under west side stair,

## Recommendations

### FOUNDATIONS \ Foundation

**Condition:** • Typical minor cracks

**Location:** Various Exterior

**Task:** Monitor

**Time:** Ongoing

### FLOORS \ Joists

**Condition:** • Joists have been cut to accommodate plumbing in owners suite crawlspace, repair as required.

**Location:** Crawl Space

**Task:** Repair



Cut joists below owner suite

## Description

**Service entrance cable and location:** • Underground - not visible

**Service size:** • 400 Amps (240 Volts)

**Main disconnect/service box rating:** • 400 Amps

**Main disconnect/service box type and location:** • Fuses - basement

**System grounding material and type:** • Copper - water pipe

**Distribution panel rating:**

• 60 Amps

60 amp services for each suite, 175 amp service for public areas, car plugs, etc. All is separately metered.



**Distribution panel type and location:**

• Breakers - basement

Public areas panel is in electrical room, off laundry area. 60 amp breaker panel in each suite.

**Distribution wire material and type:** • Copper - non-metallic sheathed • Copper - metallic sheathed • Copper - conduit

**Type and number of outlets (receptacles):** • Grounded and ungrounded - typical

**Smoke detectors:** • Supervised fire alarm system installed in building.

**Smoke detectors:** • Present

## Recommendations

### DISTRIBUTION SYSTEM \ Wiring - installation

**Condition:** • Open splices

Open joints at light in storage area, all joints should be in electrical boxes, repair as required.

**Location:** Basement

**Task:** Repair



**Condition:** • Extension cord used as permanent wiring

**Location:** Basement Laundry Area

**Task:** Remove



## **DISTRIBUTION SYSTEM \ Outlets (receptacles)**

**Condition:** • Reversed polarity

Some outlets are reverse wired, correct as required.

**Location:** #9 LR and Kitchen, #1 LR,

**Task:** Correct

## **DISTRIBUTION SYSTEM \ Smoke detectors**

**Condition:** • Install fire alarm heat detector in storage room under west stair as this area is used as storage room.

**Location:** Basement Staircase

**Task:** Provide



**Condition:** • Replace missing smoke alarm.

**Location:** #7

**Task:** Replace

# HEATING

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## Description

**Fuel/energy source:** • Electricity

**System type:** • Electric baseboard heaters

**Heat distribution:** • Baseboards

**Chimney/vent:**

- Masonry

Masonry chimney is now used for venting crawlspace.

- Abandoned

Incinerator chimney at rear, no longer in use.

# INSULATION AND VENTILATION

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## Description

**Attic/roof insulation material:** • Not determined

**Attic/roof insulation amount/value:** • Not determined • Not visible

**Wall insulation material:** • Not determined

**Wall insulation amount/value:** • Not determined

**Crawlspace ventilation:**

• Into basement

Exhaust fan installed for crawlspace, performance not evaluated.

## Limitations

**Inspection prevented by no access to:** • Roof space

**Mechanical ventilation effectiveness:** • Not verified

## Recommendations

### FOUNDATION \ Interior insulation

**Condition:** • Exposed combustible insulation

Cover exposed foam insulation with drywall.

**Location:** Basement Laundry Area





## Description

**General:** • Water service piping to building is copper. Water service piping in building is copper.

**General:** • Waste piping in building; cast, plastic, galvanized.

**Water supply source:** • Public

**Main water shut off valve at the:**

• Meter

Meter in tool room.

**Water flow (pressure):** • Functional

**Water heater fuel/energy source:** • Electric

**Water heater type:** • Conventional

**Tank capacity:** • 2-65 gal tanks

**Water heater approximate age:** • 4 years

**Waste disposal system:** • Public

## Limitations

**General:** • Items excluded from building inspection; water quality, main & isolation valves, tub & sink overflows, concealed plumbing, perimeter drainage around foundation and associated piping under floors if any.

## Recommendations

### **SUPPLY PLUMBING \ Water service pipe**

**Condition:** • Recommend engaging plumber to check main water supply and sewer line in crawlspace to determine if there are plumbing leaks causing or contributing to moisture in crawlspace.

**Location:** Crawl Space

**Task:** Further evaluation



Water pooling right crawlspace. Copper water line running along this area

## WASTE PLUMBING \ Drain piping - performance

**Condition:** • Rust

Waste plumbing in crawlspace is very rusted due to ongoing moisture. Drain pipe in crawlspace requires proper capping.

**Location:** Crawl Space

**Task:** Monitor



## FIXTURES AND FAUCETS \ Basin, sink and laundry tub

**Condition:** • Slow drains

**Location:** #8 Bathroom basin

**Task:** Repair

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## FIXTURES AND FAUCETS \ Faucet

**Condition:** • Loose

**Location:** #11

**Task:** Repair

## FIXTURES AND FAUCETS \ Toilet

**Condition:** • Replace cracked toilet.

**Location:** #7

**Task:** Replace



# INTERIOR

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

**INTERIOR**

SITE INFO

## Description

**Major floor finishes:** • Carpet • Hardwood • Resilient • Laminate

**Major wall finishes:** • Plaster/drywall

**Major ceiling finishes:** • Plaster/drywall • Acoustic tile • Suspended tile

**Windows:** • Fixed • Sliders • Wood • Vinyl

**Glazing:** • Double

**Exterior doors - type/material:** • Wood

**Evidence of basement leakage:** • Present • Water

**Laundry facilities:** • Hot/cold water supply • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

## Limitations

**General:** • Not included in building inspection; cosmetic issues, intercom systems, security systems, appliances.

**Inspection limited/prevented by:** • Carpet • Storage/furnishings • Storage in closets/cupboards

## Recommendations

### WALLS \ General

**Condition:** • Suite to suite fire separation has been compromised due to installation of doors to join suites. Recommend repairing to restore fire separation or install fire rated doors and frames.

**Location:** Suite 1 and 2

**Task:** Repair



## CEILINGING \ General

**Condition:** • Repair damaged ceiling fire separation in basement storage area.

**Location:** Basement

**Task:** Repair



**Condition:** • Water damage

Ceiling previously water damaged from roof leakage, monitor.

**Location:** Third Floor Hall, #7

**Task:** Monitor



# INTERIOR

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO



**Condition:** • Water damage

Repair damage ceiling finish in #2 bathroom, repair exhaust fans as recommended to improve fan performance.

**Task:** Repair



## DOORS \ Hardware

**Condition:** • Latch missing on suite door, replace as required.

**Task:** Repair or replace

## CRAWLSPACE \ Leakage

**Condition:** • See EXTERIOR page for relevant recommendations

Improve grade at rear and east side to reduce/limit leakage to crawlspace.



Moisture infiltration laundry area crawlspace/storage area



Moisture infiltration/efflorescence rear left corner of building

**Condition:** • Interior drainage system

In order to better drain moisture from crawlspace, it is recommended to install interior drainage system around foundation footings and pipe to a least one sump pit . This will assist in draining water entering and seeping into crawlspace on a continuous basis. There should also be a pump installed in pit and piped to drain to building exterior, well away from building. The crawlspace should be cleaned of all debris after which a 6 mil poly should be installed on ground in crawlspace. The poly should be sealed to foundation walls and at all joint overlaps. This work should be done by foundation repair specialist. This is also a major cost item.

**Location:** Crawl Space



Debris in crawlspace



Moisture damage/staining in storage area.

# INTERIOR

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO



Crawlspace at front of building



Water leakage in storage room



Masonry wall and debris in crawlspace



Air vent at front of building. Water entry point?



Soil erosion past bottom of footing, centre bearing wall



## EXHAUST FANS \ Exhaust fan

**Condition:** • Inadequate air movement

Bathroom fan performance is inadequate with solid wood in front. Recommend installing proper grilles.

**Location:** All Bathrooms.

**Task:** Improve



## EXHAUST FANS \ Kitchen exhaust system

**Condition:** • Blower inoperative

**Location:** #9,

**Task:** Repair or replace



ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## **APPLIANCES \ Dryer**

**Condition:** • Replace damaged dryer vent pipe.

**Location:** Basement Laundry Area

**Task:** Repair

# SITE INFO

000 Any Street, Anytown, MB April 1, 2013

Report No. 2041

[www.housereview.ca](http://www.housereview.ca)

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

## Description

**General:** • 3 Storey, 11 suite, masonry building, 56 years old. Only 6 suites were inspected at clients request, 3 on third floor and 3 in basement.

**Weather:** • Sunny • Partly cloudy • Ground was dry • It was not raining at the time of the inspection. • Light winds

**Approximate temperature:** • 12°

**Attendees:** • Buyer

**Utilities:** • All utilities were on during the inspection. • The water service is public. • The plumbing waste disposal system is public.

**Number of dwelling units:** • 11 suites

**Number of stories:** • 3

**Below grade area:** • Basement • Crawlspace

**END OF REPORT**