

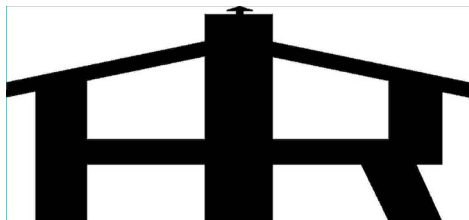
# INSPECTION REPORT



For the Property at:  
**000 ANYWHERE**  
ANYTOWN, MB

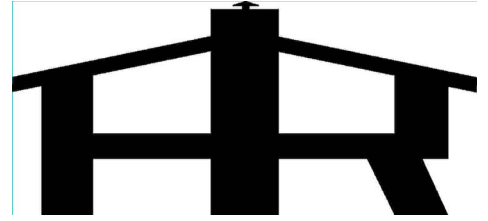
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Prepared for: HOUSE REVIEW CLIENT  
Inspection Date: Monday, April 1, 2013  
Prepared by: Roger Chamberland, RHI, CMI



House Review/Guardian Inspection Services Inc.  
432 Speers Rd.  
Winnipeg, MB R2J 1N2  
204-253-4076  
Fax: 204-221-0520  
[www.housereview.ca](http://www.housereview.ca)  
[housereview@shaw.ca](mailto:housereview@shaw.ca)

The professionals who know what it takes to call a house, home.



April 1, 2013

Dear House Review Client,

RE: Report No. 1504  
000 Anywhere  
Anytown, MB

Thank you for choosing House Review to perform your home inspection. We trust the experience was both useful and enjoyable. The inspection determined many issues/concerns with most being minor in nature when considering the age of the house. It is recommended to review the attached report for details and recommendations.

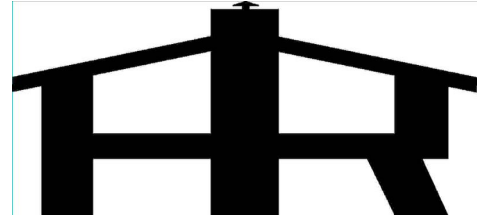
You are advised that the electronic report has many useful links available to provide you with additional information on various installations and equipment. Simply click on any highlighted and underlined word or term to open informational links. There is also a complete library of information available on the last page of the report. Simply click on a specific section to access library.

Please feel free to contact us with questions about the report or the home itself at any time for as long as you own the home. Our consulting service via telephone is available at no cost to you for as long as you own the home. Thanks again for allowing us to work with you.

Sincerely,

Roger Chamberland, RHI, CMI  
on behalf of  
House Review/Guardian Inspection Services Inc.

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# INVOICE

April 1, 2013

Client: House Review Client

Report No. 1504  
For inspection at:  
000 Anywhere  
Anytown, MB

on: Monday, April 1, 2013

Pre-purchase		\$390.00
	GST #	\$19.50
	889326526	
	Total	<u>\$409.50</u>

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# ROOFING

000 Anywhere, Anytown, MB April 1, 2013

Report No. 1504

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

## Description

**Sloped roofing material:** • [Asphalt shingles](#)

## Limitations

**Inspection performed:** • By walking on roof

## Recommendations

### **General**

• Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of the roof.

### **SLOPED ROOFING \ Asphalt shingles**

**Condition:** • [Near end of life expectancy](#)

Additional Conditions:

Old, worn out

Cupping, curling, clawing

Granule loss

Missing, loose or torn

**Task:** Replace

**Time:** Less than 1 year



*Garage roof at chimney*



*House roof south valley*

# ROOFING

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
REFERENCE									



*Damaged/missing shingles*



*House roof north valley*

# EXTERIOR

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ROOFING

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## Description

**Gutter & downspout material:** • [Galvanized steel](#)

**Gutter & downspout type:** • [Eave mounted](#)

**Gutter & downspout discharge:** • [Above grade](#)

**Lot slope:** • [Away from house](#)

**Wall surfaces - wood:** • [Boards](#)

**Wall surfaces - masonry:** • [Brick](#)

**Wall surfaces :** • [Stucco](#)

**Driveway:** • Asphalt

**Walkway:** • Concrete

**Exterior steps:** • Concrete

**Patio:** • Concrete

**Fence:** • Wood

## Recommendations

### **General**

• Basement leakage is often caused by conditions on the exterior of the home. Basements are not built like boats, and if water is allowed to collect outside of foundation walls, it will leak through into the basement. It is important that gutters and downspouts collect roof water and carry it away from the house. Similarly, lot grading around the house should slope away from the building so surface water from rain and melting snow is directed away from the building, rather than towards the foundation.

• Ground that slopes toward the house can funnel surface water from rain and melting snow against the foundation walls. This can lead to basement leakage. The ground should slope down away from the building on all side of the house. This includes areas under decks and porches, driveways and sidewalks.

### **ROOF DRAINAGE \ Gutters**

**Condition:** • [Missing](#)

**Location:** Garage

**Task:** Provide

**Time:** Immediate

# EXTERIOR

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ROOFING

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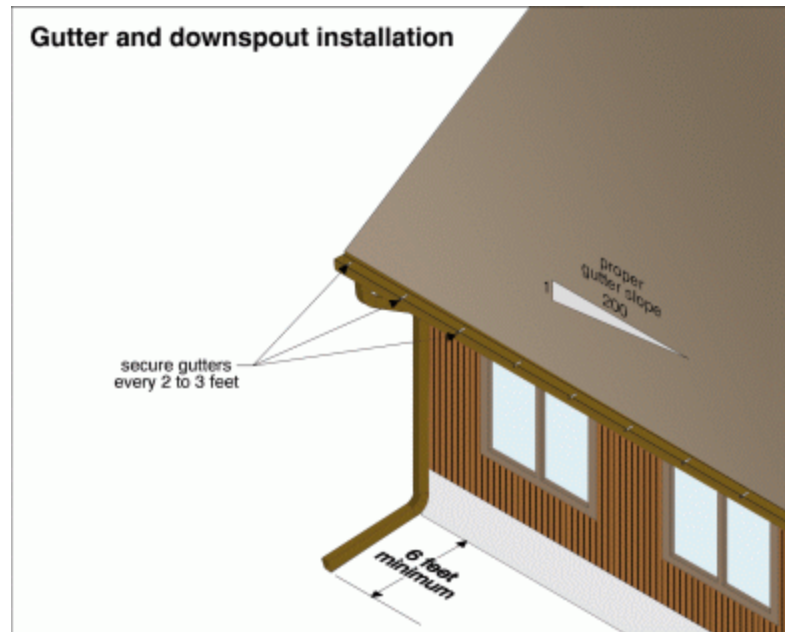
INSULATION

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[Click on image to enlarge.](#)

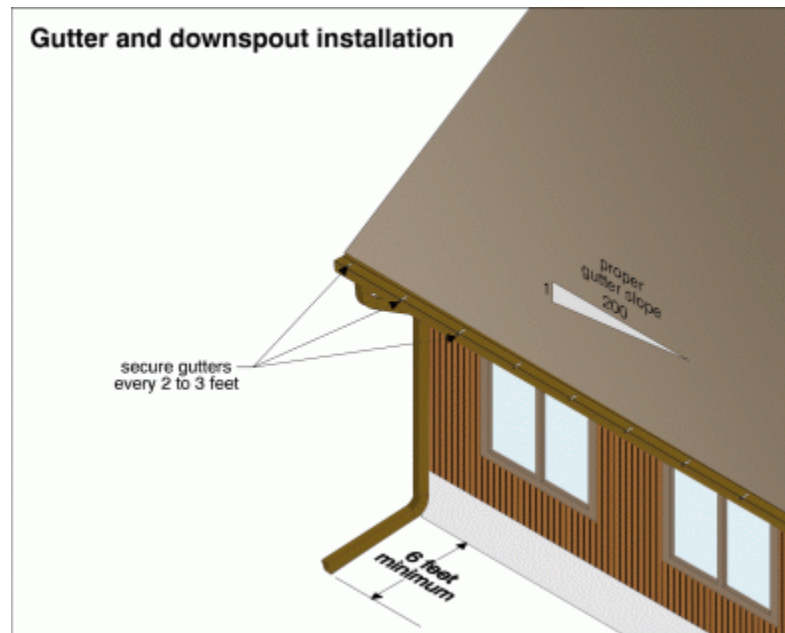
## ROOF DRAINAGE \ Downspouts

**Condition:** • [Downspouts end too close to building](#)

**Location:** Various

**Task:** Improve

**Time:** Immediate



[Click on image to enlarge.](#)

# EXTERIOR

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ROOFING

**EXTERIOR**

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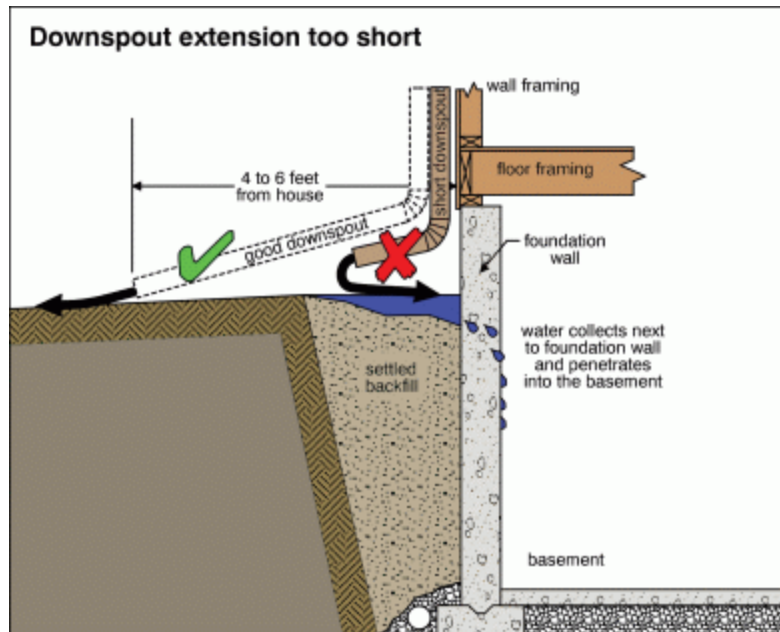
INSULATION

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## **WALLS \ Stucco and EIFS**

**Condition:** • [Mechanical damage](#)

Repair/caulk larger cracks and holes.

Additional Conditions:

Cracked

Minor cracks

**Location:** Exterior wall

**Task:** Repair



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## **DOORS \ Exterior drip caps**

**Condition:** • [Missing](#)

No flashing over man door in garage, recommend caulking to reduce moisture entry. Door frame loose in opening, screw/nail door frame.

**Location:** Garage

**Task:** Correct



## **LANDSCAPING \ Lot grading**

**Condition:** • [Improper slope](#)

**Location:** Various

**Task:** Improve

**Time:** Immediate

# EXTERIOR

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ROOFING

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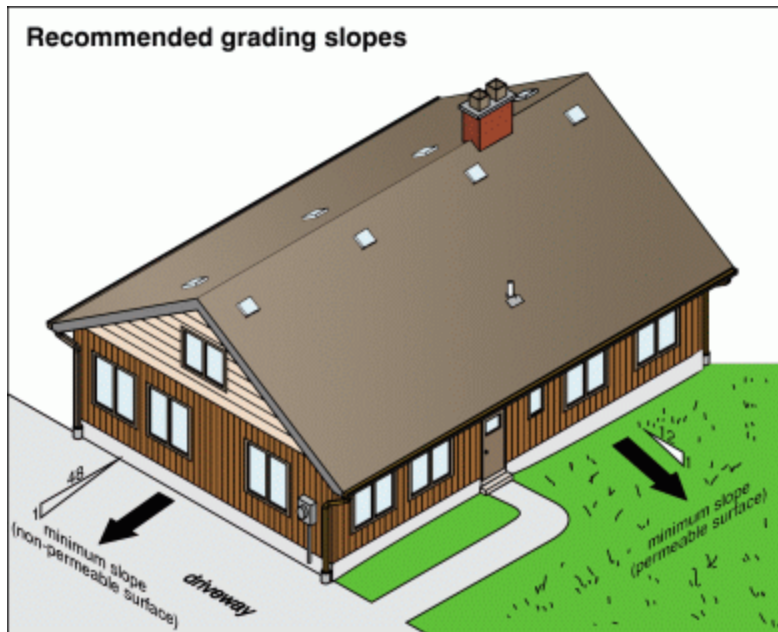
INSULATION

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[Click on image to enlarge.](#)



## LANDSCAPING \ General

**Condition:** • [Trees or shrubs too close to house](#)

**Location:** Exterior

**Task:** Correct

**Time:** Regular maintenance

# EXTERIOR

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ROOFING

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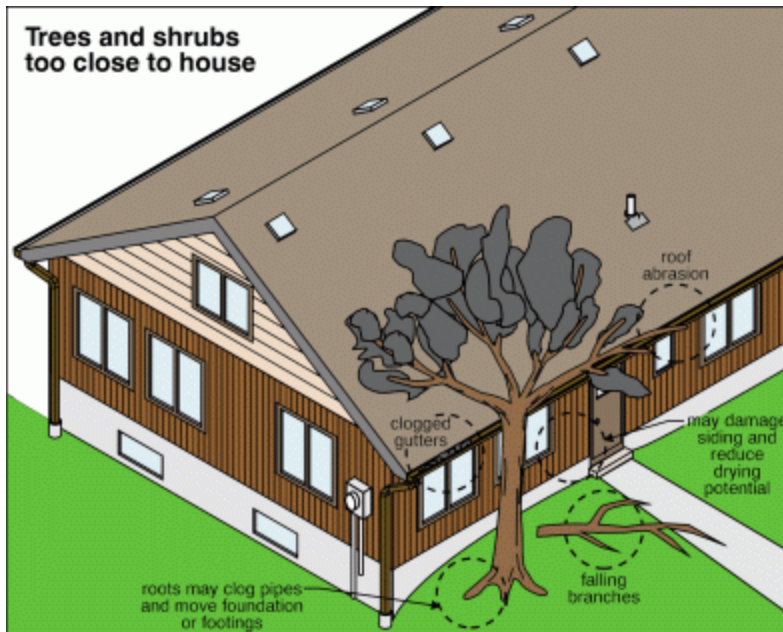
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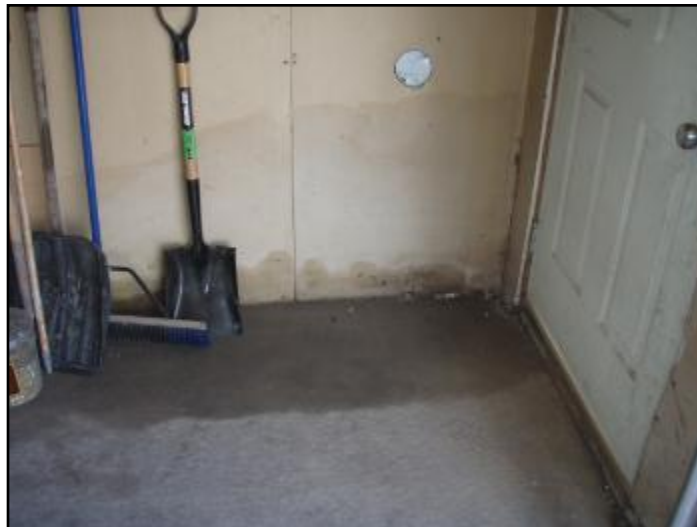
## GARAGE \ General

**Condition:** • Some moisture damage to drywall and framing, probably due to water pooling to northeast corner.

**Location:** Garage

**Task:** Monitor/Repair as required

**Time:** Ongoing



## Description

**Configuration:** • [Basement](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:** • [Joists](#) • [Concrete](#)

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • [Trusses](#)

## Limitations

**Inspection limited/prevented by:**

- Carpet/furnishings
- Storage



- New finishes/paint
- Insulation

**Attic/roof space:** • Inspected from access hatch

**Percent of foundation not visible:** • 95 %

## Recommendations

### **FOUNDATIONS \ Foundation**

**Condition:** • Repair hole in foundation at A/C lines.

**Location:** West

**Task:** Repair

**Time:** Immediate

# STRUCTURE

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## Description

**Service entrance cable and location:** • [Overhead aluminum](#)

**Service size:** • [100 Amps \(240 Volts\)](#)

**Main disconnect/service box rating:** • [100 Amps](#)

**Main disconnect/service box type and location:** • [Breakers - basement](#)

**System grounding material and type:** • [Copper - water pipe](#)

**Distribution panel rating:** • [100 Amps](#)

**Distribution panel type and location:** • [Breakers - basement](#)

**Distribution wire material and type:**

- [Copper - non-metallic sheathed](#)
- [Aluminum - non-metallic sheathed](#)

One aluminum circuit for dryer.

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

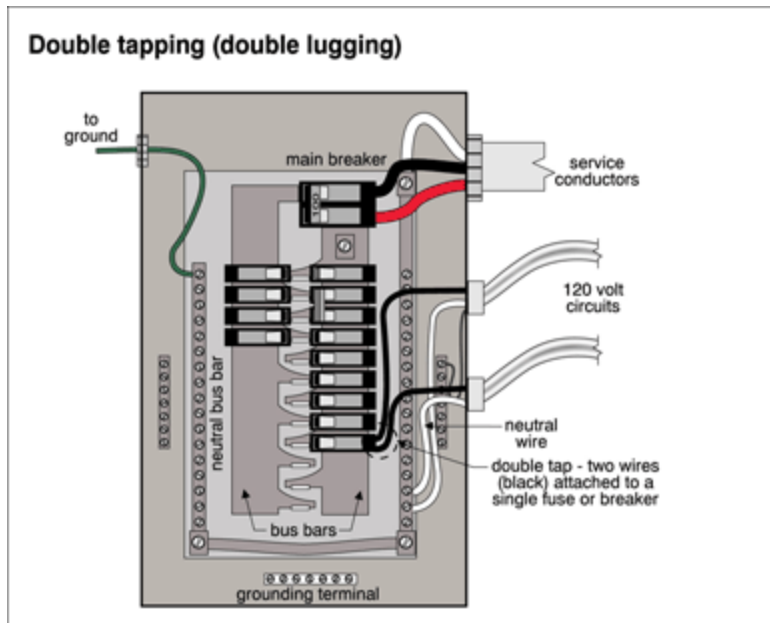
## Recommendations

### **SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers**

**Condition:** • [Double taps](#)

**Location:** Basement Utility room

**Task:** Correct



[Click on image to enlarge.](#)

ROOFING

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## **DISTRIBUTION SYSTEM \ Wiring - installation**

**Condition:** • Wiring in laundry area attached to electrical box without proper connectors on box.

**Location:** Basement Laundry area

**Task:** Repair

## **DISTRIBUTION SYSTEM \ Outlets (receptacles)**

**Condition:** • [Inoperative](#)

Outlet at rear wall not working.

**Location:** Garage

**Task:** Repair

## **DISTRIBUTION SYSTEM \ Cover plates**

**Condition:** • [Missing](#)

**Location:** Garage

**Task:** Provide

**Time:** Immediate

## **DISTRIBUTION SYSTEM \ Smoke detectors**

**Condition:** • [None](#)

Install smoke and CO alarm.

**Location:** First floor Hall

## Description

**Fuel/energy source:** • [Gas](#)

**System type:** • [Furnace](#)

**Approximate capacity:** • [100,000 BTU/hr](#)

**Efficiency:** • [Mid-efficiency](#)

**Approximate age:** • [14 years](#)

**Main fuel shut off at:** • Meter

## Limitations

**Safety devices:** • Not tested as part of a home inspection

**Heat loss calculations:** • Not done as part of a home inspection

**Heat exchanger:** • Only a small portion visible

## Recommendations

### GAS FURNACE \ Mechanical air filter

**Condition:** • Recommend using pleated type filters.

**Location:** Basement

**Task:** Provide

### GAS FURNACE \ Mid- and high-efficiency gas furnace

**Condition:** • Service and clean furnace immediately, and annually thereafter.

**Location:** Basement

**Task:** Service

**Time:** Regular maintenance





## **WOOD STOVE \ Cabinet, door and clearances**

**Condition:** • [Side or back wall - combustible clearance inadequate](#)

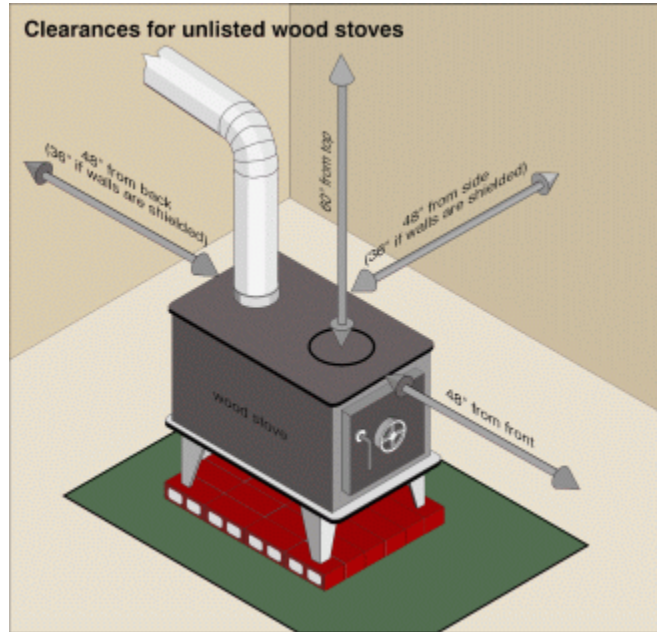
Wood stove in garage, improper installation, do not use until evaluated and repaired.

Note; This appliance and installation may be an insurance issue.

**Location:** Garage

**Task:** Further evaluation/Repair/Remove

**Time:** Immediate



[Click on image to enlarge.](#)



# HEATING

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## **WOOD STOVE \ Venting**

**Condition:** • [Combustible clearance](#)

**Location:** Garage

**Task:** Further evaluation

**Time:** Immediate



# COOLING & HEAT PUMP

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## Description

**Air conditioning type:** • [Air cooled](#)

## Limitations

**Inspection limited/prevented by:** • Power turned off

**Heat gain calculations:** • Not done as part of a home inspection

## Recommendations

### AIR CONDITIONING \ General

**Condition:** • A/C unit did not start/run, unit was not turned on before inspection, compressor did not heat up.

**Task:** Further evaluation

## Description

Attic/roof insulation material: • [Wood shavings](#)

Attic/roof insulation amount/value: • [R-20](#)

Attic/roof ventilation: • [Soffit vent](#) • [Gable vent](#)

Attic/roof air/vapor barrier: • [Plastic](#)

Wall insulation material: • Not determined

Wall insulation amount/value: • Not determined

## Limitations

Attic inspection performed: • From access hatch

## Recommendations

### ATTIC/ROOF \ Insulation

Condition: • [Amount less than current standards](#)

Recommend improving insulation in attic, contact MB Hydro re EnerGuide test and info on grants, etc.

Location: Attic

Task: Improve

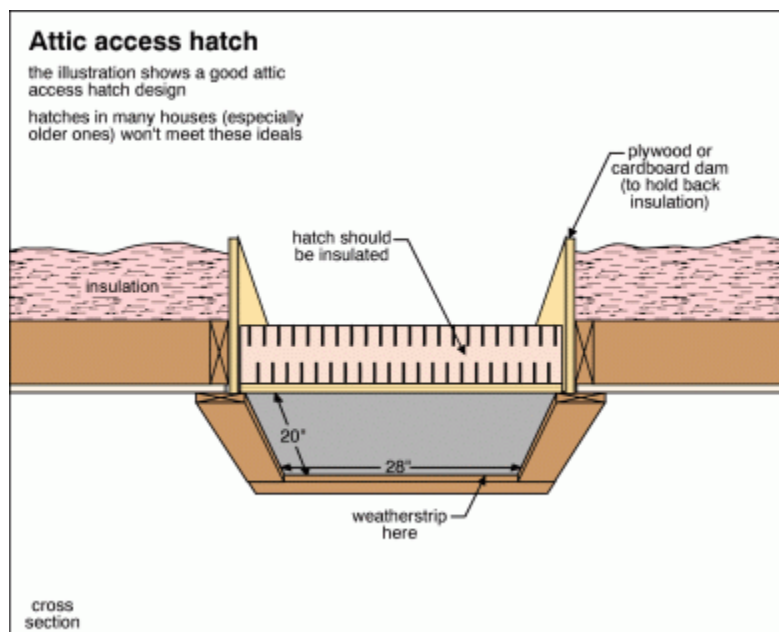
Time: Discretionary

### ATTIC/ROOF \ Hatch

Condition: • [Not insulated and not weatherstripped](#)

Location: First floor Bedroom

Task: Improve



[Click on image to enlarge.](#)

ROOFING

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## Description

**Water supply source:** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • Basement • Front of the basement • Meter

**Water flow (pressure):** • [Functional](#)

**Water heater fuel/energy source:** • [Gas](#)

**Water heater type:** • [Conventional](#)

**Tank capacity:** • [33.3 gallons](#)

**Water heater approximate age:** • 9 years

**Waste disposal system:** • [Public](#)

**Waste piping in building:** • [Plastic](#)

**Pumps:** • [Sump pump](#)

## Limitations

**Items excluded from a home inspection:** • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows

## Recommendations

### **WASTE PLUMBING \ Sump pump**

**Condition:** • Sump pump discharge should extend from house on the outside, hose is not extended from foundation.

**Location:** West Basement Laundry area

**Task:** Correct

# INTERIOR

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## Description

**Major floor finishes:** • [Resilient](#) • [Laminate](#)

**Major ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Fixed](#) • [Awning](#)

**Glazing:** • [Triple](#)

**Exterior doors - type/material:** • [Metal](#)

**Evidence of basement leakage:** • Efflorescence

## Limitations

**Not included as part of a building inspection:** • Security systems and intercoms • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

**Percent of foundation not visible:** • 95 %

## Recommendations

**EXHAUST FANS \ Exhaust duct**

**Condition:** • [Not vented to exterior](#)

**Location:** Basement Bathroom

**Task:** Correct

**Time:** Discretionary

# SITE INFO

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## Description

**Weather:** • Sunny • Clear • Ground was damp • There has been no rain in last 3 days.

**Approximate temperature:** • 16°

**Attendees:** • Buyer • Seller • Buyer's Agent

**Access to Home Provided by:** • Seller

**Occupancy:** • The home was occupied at the time of the inspection. • The home was furnished during the inspection.

**Utilities:** • All utilities were on during the inspection. • The water service is public. • The plumbing waste disposal system is public.

**Approximate size of home:** • 1200 ft.<sup>2</sup>

**Building type:** • Detached home • Bungalow

**Number of stories:** • 1

**Number of bathrooms:** • 3

**Below grade area:** • Basement

**Garage, carport and outbuildings:** • Detached two-car garage

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

## [1. Roofing, Flashings and Chimneys](#)

## [2. Exterior](#)

## [3. Structure](#)

## [4. Electrical](#)

## [5. Heating](#)

## [6. Cooling/Heat Pumps](#)

## [7. Insulation](#)

## [8. Plumbing](#)

## [9. Interior](#)

## [10. Appliances](#)

## [11. Life Cycles and Costs](#)

## [12. Supplementary](#)

[Asbestos](#)

[Radon](#)

[Urea Formaldehyde Foam Insulation \(UFFI\)](#)

[Lead](#)

[Carbon Monoxide](#)

[Mold](#)

[Household Pests](#)

[Termites and Carpenter Ants](#)

## [13. Home Set-up and Maintenance](#)

## [14. More About Home Inspections](#)

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[CAHPI Standards of Practice](#)